

**Heritage, Design and Access Statement 19/02137/FUL  
Tanglewood, Parkfield, Sevenoaks TN15 0HX**

**Revision A**

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27th October 2019



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# 1 Introduction

This Heritage, Design and Access Statement has been prepared in support of a proposed replacement of the existing dwelling at Tanglewood. This application follows 18/03836/FUL and aims to address all the related issues raised by both conservation and planning officers (please, refer to chapter 4.3).

We draw attention at the outset to the fact that permission has now been granted for the demolition and replacement of Tanglewood (19/01641/FUL). This consent establishes that the principle of demolition and redevelopment is acceptable.

We acknowledge that the judgement on the acceptability of the redevelopment turns entirely on the quality of the replacement building, and by that meaning not just the intrinsic quality of the building but also its appropriateness relative to what makes the Conservation Area special.

Since the first pre-application submission in February 2018 considerable efforts have been made to ensure that the proposed scheme is acceptable in both its architectural quality and appropriateness.

The scheme has been reconsidered to incorporate many traditional Kentish vernacular Arts and Crafts architectural features in order to maintain the consistency of the style within the Wildernes Estate (please, refer to chapter 3.4.2). We are proposing a high quality innovative design with highest sustainability criteria (HQM and CFSH) that we believe sits comfortably within the surrounding setting, contributes to the Conservation Area, and follows the design guidelines of the Wildernes Conservation Area Appraisal and Management Plan (WCAAMP).

The Conservation Officer Elizabeth Ashworth by email to the case officer dated 16.09.19 set out her comments in relation to the Planning Application 19/02137/FUL. Without prejudice to our original submission, we believe that we have now addressed all her comments in our letter dated 22nd September 2019 and accompanying drawings. We have made the dwelling look much more traditional and in keeping with the predominant architectural style of the Estate by introducing a traditional hip roof with a long horizontal ridge parallel to Parkfield. The front gables have been lowered by about a metre and are now subservient to the hip roof, two symmetrical chimneys have been incorporated, there is clear separation between the First and the Ground Floors with the means of timber cladding, and we have also lowered the Ridge Level even further. Please, see the drawings attached and the detailed description of the amendments in Chapter 3.3.1 Architectural Style and Recent

## Amendments.

In addition to the design solutions described above (and in Chapter 3.3.1 below ) we summarise below the other historical issues raised by the Conservation Officer during the previous consultations and describe how they were addressed and affected the focal points of the architectural design concept in general:

✓ *The amended 19/02137/FUL scheme design addresses all design, bulk, scale and massing issues:*

- Tanglewood is to be proposed to be of a lower height than High Weald (neighbouring property) and well below the average ridge height for Parkfield.
- The proposal retains the existing separation distance from neighbouring properties in accord with the WCAAMP (p.28): *“A good deal of the visual attractiveness of the estate, however, depends on the fact that the majority of the houses are hidden – or half-hidden – from view, behind tall dense hedges or set well back from the roads behind an extensive shrub and tree planting”.*
- Careful placement of windows, a lower roof and ample separation distance from the nearest neighbour acts to avoid unacceptable impact upon privacy and amenity.
- The Arts and Crafts architectural style makes emphasis on basic forms, asymmetry, stripped-back design, craftsmanship, creative expression, and the use of natural materials found locally. An Arts and Crafts-style house is characterised by horizontal forms, the use of indigenous materials, and architectural features that encourage interaction with nature. An Arts and Crafts-style homes traditionally hugs the ground with low-slung, often asymmetrical forms topped with gabled roofs that sweep down over a spacious front porch. All these architectural features were reflected with care in the proposed design (both July 2019 submission and even more so in the October 2019 revision).
- The roof has been redesigned to incorporate a steep pitches – reflecting the wording of WCAAMP (p.27) which states that the roofs of the area are ‘almost universally well-pitched’.
- The facade has been altered to use traditional and locally sourced materials.
- Conservation Officer stated (Planning Pre-Application PA/18/00088): *“Looking at the design itself, I believe that one of the key characteristics of the conservation area is the pitched roofs and formal frontage, where the entrance bay is clearly defined. “* These features are preserved in the new proposal (both July 2019 submission and even more so in the October 2019 revision).



✓ *The proposed scheme maintains the consistency of the style of the Wildernesse Estate whilst avoiding the trap of being ‘Pastiche’ by introducing a wider diversity that we believe is in harmony with the architecture of the Conservation Area:*

- WCAAMP p.17: “There is a richness, variety, quality and history within this area that is special and a need to maintain and enhance the best of this quality is crucial”
- WCAAMP p.17: “Designation of the Conservation Area does not mean that changes cannot occur, but rather than any change should preserve or enhance the features which make up its special character.”
- WCAAMP p.28: “Variations of style have been successfully accommodated in this conservation area, and will continue to be, where they are good examples of their particular idiom”. For example, granted planning applications 19/09/2013, SE/13/02734/FUL.
- WCAAMP p.28: “Any new development should encourage high quality and innovative design that reflects local identity and distinctiveness and promotes healthy, safe and secure living and working environments”
- WCAAMP p.28: “The Wildernesse Estate’s architectural manner, materials and quality detailing derive predominantly from the English Arts and Crafts movement. Further development during the latter part of the 20th Century and more recently, has encompassed a few different architectural styles: neo-Georgian, or distinctly modern, for example.”
- WCAAMP p.28: “...inconsistency of detail or ill-informed pastiche design will degrade the whole area if it is allowed to proliferate.”
- The Conservation Officer has confirmed in one of the previous Tanglewood submissions: *“There is not a prescribed architectural style for new development, but it is important any proposal preserves or enhances the distinct character of the conservation area.”*

✓ *WCAAMP states that the following items "make up the high aesthetic value of the estate", the items that the proposed scheme has taken into account:*

- WCAAMP p.28 "The Wildernessee Estate's architectural manner, materials and quality detailing derive predominantly from the English Arts and Crafts movement. Further development during the latter part of the 20th Century and more recently, has encompassed a few differing architectural styles: neo-Georgian, or distinctly modern, for example"
- WCAAMP p.27 "Roofs are almost universally well-pitched and tiled, vertical tile hanging and half- timbering is used extensively, fair-faced brickwork is everywhere"
- WCAAMP p.28 "A good deal of the visual attractiveness of the estate, however, depends on the fact that the majority of the houses are hidden – or half hidden – from view, behind tall dense hedges or set well back from the roads behind extensive shrub and tree planting"
- WCAAMP p.43 "All new buildings should use products with a low environmental impact, including the use of locally sourced materials from sustainable resources. Where appropriate in a conservation area, new buildings should also include provisions for waste reduction, the re-use of materials and should be energy efficient, including the use of renewable energy systems"
- WCAAMP p.28 "A further contributing factor to the area's character is the generous size of plots on which many of the houses are placed and the relatively modest height and bulk of the original designs"
- WCAAMP p.41 "Any new development should encourage high quality and innovative design that reflects local identity and distinctiveness and promotes healthy, safe and secure living and working environments"
- WCAAMP p.42 "Design should be of high quality, whether modern or traditional. Roof lines, roof shape, eaves details, verge details and the creation of new chimneys are important considerations"

✓ *Importantly, WCAAMP states that "Specific accent is given on negative features within the Estate". It refers to houses like Tanglewood as existing. The proposed scheme proposes to fix the raised issues:*

- WCAAMP p.36 "inconsistency of detail or ill-informed pastiche design will degrade the whole area if it is allowed to proliferate"
- WCAAMP p.36 "avoid discordant colours". We have avoided "pastiche" and made all detailing including the use of the materials and colours consistent with the associated trends of the Estate.

✓ *The Arcadian nature of the area is preserved. Furthermore, prior to the architectural design development an extensive soft landscaping was carried out in December 2017 with few hundreds mostly evergreen plants planted in the front garden to enhance the Arcadian nature of the site:*

- WCAAMP p.43: “All new buildings should use products with a low environmental impact, including the use of locally sourced materials from sustainable resources. Where appropriate in a conservation area, new buildings should also include provisions for waste reduction, the re-use of materials and should be energy efficient, including the use of renewable energy systems”
- The NPPF acknowledges that whilst it is important for developments to respect the character of the local area, developments that incorporate new technologies which result in a high level of sustainability should be supported. Paragraph 131 of the NPPF states: “Great weight should be given to outstanding or innovative designs which promote high levels of sustainability. It is considered that this proposal meets these objectives and as a result great weight should be given to the positive design features displayed.”

✓ *The new scheme (both July 2019 submission and even more so in the October 2019 revision) proposes a solution to replace existing Tanglewood that was described by various conservation officers as “pedestrian in appearance” and having “in itself little architectural merit”:*

- Conservation Officer: ““Whilst the existing property hints at the Kentish Vernacular and the Arts and Crafts movement the overall architectural detailing of the building is more restrained compared with other buildings in the conservation area.”
- WCAAMP describes “pastiche” design like Tanglewood’s as a negative feature of the Estate: “A few late 20th Century individual houses or improvements are of a lesser design quality than the majority of their neighbours. Variations of style have been successfully accommodated in this conservation area... but inconsistency of detail or ill-informed pastiche design will degrade the whole area if it is allowed to proliferate.”

The proposed development comprises of a single dwelling that adopts not only the common characteristics of the vernacular form and materials of the buildings of the Wildernessee Estate. It also aspires to achieve at least 4 stars in the BRE Home Quality Mark (HQM) assessment and would meet the equivalent of levels of the former Code for Sustainable Homes. Please, see the Technical Guide and the summary of HQM by CalfordSeaden in Appendices A and B.

The total floorspace as existing is 347.01 m<sup>2</sup> and the proposed is 534m<sup>2</sup> (slightly smaller than approved 562.66 m<sup>2</sup> in 18/01983/HOUSE and 19/00932/MMA). The areas exclude the non-residential floor-spaces of the existing garage and the proposed plant room that are deemed to be of equal amounts. The total living area as proposed is slightly smaller than the scheme we have approved, to ensure the project meets the budget after the sustainability makeover which will ensure lower running costs. This project is about quality, not quantity.

The details of the proposal are:

- Replacement of the existing dwelling with another one of higher physical, functional and aesthetic qualities. The foundations of the existing house will be reused;
- Eastern and Northern extensions present footprints that are almost identical to the ones approved in applications 18/01983/HOUSE and 19/00932/MMA;
- Underground pool plant room/storage in the back garden at the far end of indoor/outdoor swimming pool;
- Increase of the existing ridge level by 1.4m.
- Achieve one of the highest possible levels in the Home Quality Mark One assessment developed by BRE Group that is aimed at replacing the Code For Sustainable Homes. It judges the development based on its overall costs of living in the home, how the home will affect the occupier's health and well-being and how the home will affect the environment both during its construction and when it is being used;
- Conversion of the existing internal garage into a habitable space, that was approved as part of 18/01983/HOUSE application;

The main purpose of a Heritage Statement is to support the quality of decision-making for all planning aspects of the historic environment that is clear and transparent in its purpose and sustainable in its application.

This Heritage, Design and Access Statement describes the significance of all the heritage assets affected, including the contributions made by their setting. The level of detail of the

Statement is very high and is proportionate to the dwelling's importance and considered sufficient to understand the potential positive impact of the proposal on their significance.

This Heritage, Design and Access Statement, supported by the enclosed architectural drawings, meets the requirements set out in paragraph 128 of the National Planning Policy Framework (NPPF). The statement demonstrates details of the history and development of the asset, using photographic, map, archival and fabric evidence. It is accompanied by a photographic record, showing the site context, spaces and features, which might be affected by the proposal, and cross-referenced to survey drawings. It includes an assessment of the architectural and historical significance of the Tanglewood. An assessment of the impact of the proposed works on the significance of the dwelling is included, and a statement of justification for those works, together with details of the mitigation measures proposed.

The following research methods were incorporated during the design process:

- Consultations with Historic England, the Wildernesse Estate residents, SPAB, the Wildernesse Estate Residents Association Committee;
- Thorough study of the comments made by the conservation and planning officers on the previous Tanglewood planning applications and pre-applications;
- Thorough study of the Planning applications, both granted and refused within the Wildernesse Estate;
- Case studies of the dwellings of both traditional and modern Arts and Crafts style.

## 2 Tanglewood's Setting and its Historical Context

### 2.1 Wildernesse Conservation Area

The Wildernesse Conservation Area was established in 1994 and was extended in 1998 and now covers 40 hectares and includes four listed buildings. The original estate was designed by the highly regarded H.M. Baillie Scott and other respected Arts and Crafts Architects of the time which is a clear indication of the desire to create high quality buildings and settings. Care was given to the retention of trees and hedges with extensive areas of untouched woodland and the secluded feel of individual houses.

Over time the Estate has evolved with the dwellings of various styles and its architecture evolved:

*“There is a richness, variety, quality and history within this area that is special and a need to maintain and enhance the best of this quality is crucial” (WCAAMP p.39)*

WCAAMP says that only some common architectural characteristics are taken from the original Kentish Vernacular Arts and Crafts style and they are not applied to all houses within the Estate:

*“Roofs are almost universally well-pitched and tiled, vertical tile hanging and half-timbering is used extensively, fair-faced brickwork is everywhere. Early Crittal windows are common” (WCAAMP p.28)*

However, it should be noted that beyond any purely aesthetic qualities, like roof tiles and shape of windows, the true valuable feature of Arts and Crafts movement is the definition—how and why something is made rather than the item itself.

Furthermore, WCAAMP states that there are only two main consistent characteristics of the Estate. First is the variety of the architectural styles and second its spacious green landscaping:

*“Individual houses of diverse design are carefully sited on large plots to maintain the effect of a rural wooded landscape not dominated by the built environment” (WCAAMP p.39)*

There are various styles of houses present within the estate and a planning permission was granted 19/09/2013 to replace Rojkik, with the newly-designed dwelling of neo-Georgian style (SE/13/02734/FUL/). The detailing of the dwelling is robust, of appropriate

materials and authentic to the period of architectural style. Planning officers did recognise that the new proposal was bulkier in comparison to the existing scheme. Nevertheless, the non-Arts and Crafts style was approved based on Paragraph 61 of the CAAMP, stating that securing high quality and inclusive design goes beyond aesthetic considerations.

In the proposed scheme at Tanglewood, we are aiming to add to the richness of the history and preserve the setting and environment of the Conservation Area.

## 2.2 Tanglewood's Significance

The existing dwelling at Tanglewood, in contrast to the best examples of the original early 20th century Arts and Crafts homes, was constructed in the late 1960's. Although some effort was made by the unknown designers to introduce a few characteristic Arts and Crafts features, it remains a typical house of its time in terms of its construction and architectural qualities or rather lack of such, promoting unpleasant pastiche within the Estate.

WCAAMP chapter 9.0 "Negative Features" states: *"A few late 20th Century individual houses or improvements are of a lesser design quality than the majority of their neighbours. Variations of style have been successfully accommodated in this conservation area, and will continue to be, where they are good examples of their particular idiom, but inconsistency of detail or ill-informed pastiche design will degrade the whole area if it is allowed to proliferate."*

According to WCAAMP Tanglewood as existing has been identified as a "negative feature" of the estate. In contradiction to this, the house is on the WCAAMP list of the "buildings contributing to the character". The "list" was voluntarily created by unrelated Surrey AC society. Furthermore, neither the Wildernessee Residents Association Committee nor the Council are able to provide any background information on the circumstances of how it was created upon numerous requests from the Wildernessee Estate residents. Hence, the authenticity and accuracy of "the list" is challenged and the existing house should be neither viewed nor assessed as a building contributing to the character of the estate. Furthermore, the Conservation Officer Rebecca Lamb refers to the building as "pedestrian in appearance" in previous application correspondence. When considered against other dwellings found on the wildernesses estate the dwelling at Tanglewood lacks any individuality as figures 1 to 7 show.

The pictures below show varying examples of other properties on the wildernesses estate.





Figure 1: Whyteladies, Wildernesse Avenue



Figure 2: Blakenhall, Wildernesse Avenue



Figure 3: The Summer House, Parkfield

The pictures below show Tanglewood as existing. For interactive 360 degrees images of Tanglewood as existing and as proposed, please follow this link: <https://www.tanglewood.rocks/360sitepics>



Figure 4: Tanglewood, rear elevation



Figure 5: Tanglewood as existing, front elevation

uPVC windows are in poor working condition. They are neither in keeping with the style or quality that would be expected within a Conservation Area nor do they reflect the Arts and Crafts or any other tradition:



Figure 6: Tanglewood's existing uPVC windows



Black plastic guttering with contrasting white soffit and fascia board sits in opposition with its natural surroundings and colour palette:



Figure 7: Tanglewood's existing modern, low quality black plastic guttering

Other shortcomings of the design currently displayed at Tanglewood are as follows:

- Poor integration into the natural topography of the land. See Figure 4 above
- Poor materials, attention to detail, craftsmanship and minimal use of decoration;
- There is no special attention to the detailing ;
- There are no defining features ;
- Lack of materiality and craftsmanship in the interior.

## **3 Architectural Design Proposal**

### **3.1 Layout**

The following layout aspects will remain unchanged:

- Relationship between buildings and public and private spaces within and around the site;
- Accessibility of the site for users;
- Orientation of the building unit in relation to the existing site topography;

The following crime prevention measures are proposed:

- Installation of a visual burglar alarm;
- New high security windows and external doors with deadbolt locks;
- Advanced CCTV system will be installed with the clear signs that it is being used;
- High security access controls that include entry phones and combination locks;
- Crime Prevention through Environmental Design (CPTED): Installation of good outside lighting;
- CPTED: The fences around the garden that are in poor condition will be replaced;
- CPTED: The natural surveillance at the front of the property will be kept at high level;

### 3.2 Landscaping

The application site is situated to the north side of Parkfield, a private road set within the Wildernessee Estate Conservation Area. The Estate consists of large detached houses set within substantial mature landscaped gardens.

The application site is generally rectangular with a frontage to Parkfield of 30.3 meters and an average depth of 117.8 meters and has an total area of 0.9 acres. The house is positioned centrally within the site and sits approximately 38 meters from Parkfield. The site falls gradually away from the road with the rear boundary sitting approximately 3 meters below Parkfield.

The front garden is well planted along the boundaries and driveway with mature trees and scrubs to provide seclusion. The rear garden is mainly laid to lawn along with mature shrubs and trees along the boundary and at the far end of the garden. As it stands, Tanglewood is not a major contributor to the street scene. However, it does form a significant part of the street scene with mixed species hedges on the Parkfield boundaries together with the large shrubs and trees within the site which characterise its openness.

The new front garden landscaping works were carried out in December 2017 and enhance the privacy and security of the site. The purpose was to fill the front garden with freshly grown high rise mature vegetation by the end of construction works. Further soft and hard landscaping will be carried out in the rear garden after the building works are complete.



Figure 8: Tanglewood soft landscape: new vegetation planted in December 17 as an initial soft landscaping phase of the proposed scheme





Figure 9: Front Garden eastern plant bed prior December '17 soft landscaping works



Figure 10: Proposed Front Garden eastern plant bed after December '17 soft landscaping works





Figure 11: Front Garden western plant bed prior December '17 soft landscaping works



Figure 12: Front Garden western plant bed prior December '17 soft landscaping works





Figure 13: Front Garden prior December '17 soft landscaping works



Figure 14: Proposed Front Garden after December '17 soft landscaping works

### 3.3 Scale and Appearance

The proposed scheme supports the requirement of WCAAMP that *“individual houses of diverse design are to be carefully sited on large plots to maintain the effect of a rural wooded landscape not dominated by the built environment”*(p.39). The landscaped setting would continue to prevail and would preserve the levels of privacy and amenity currently enjoyed by neighbouring residents. The historic trees and later planting make a significant contribution to what the WCAAMP describes as the Arcadian character of the Conservation Area.

With regard to the scale of the proposal, the subject property is situated on a large plot. Although the proposed alterations are substantive, the footprint of the proposed structure is to occupy a similar form to that of the proposed development which was permitted last year on the site under planning application reference 18/01983/HOUSE.

The bulk and height of the current proposal (both July 2019 submission and even more so in the October 2019 revision) is substantially different when compared to the previous submission - 18/01983/HOUSE. The new proposal suggests the height of the existing property to be lower than its neighbour High Weald.

The loft area has been removed and the ridge height is only approximately 90cm higher than the existing, making the new Tanglewood just under the height of High Weald. The proposed ridge level in the refused 18/03836/FULL was approximately 3m higher than the existing dwelling. We have introduced a traditional hip roof with the main horizontal ridge that is parallel to Parkfield and raises above the three subservient gables (please, see Figure 15 on p. 29). Also, as the horizontal ridge may look a bit heavier on the front elevation, than three gables on their own as on the previous scheme, we have reduced the ridge level even more to be approximately 37cm lower than the ridge level of High Weald. Additionally, we have introduced a cat slide roof going down to the lower first floor level on the rear elevation (please, see Figure 16 on p. 29). Thus the proposed Tanglewood looks in keeping with the other houses on Parkfield and emphasises the familiar features of its neighbours, like the traditional hip roof shape, cat slide roofs and two chimneys at each end of the horizontal ridge (please, see Figure 18 on p. 30).

WCAAMP requires that, *“Where a house is glimpsed from another it is seen as part of an Arcadian composition, with sculptural roofs and chimneys amid distant trees. There is a greater sense of spaciousness from rear gardens than from the access roads. Whilst there are views and glimpses of the existing dwelling, the proposed dwelling continues to appear to be subservient in the well vegetated landscape”* (p.23) The proposed dwelling at Tanglewood is designed to appear subservient in well vegetated landscaping, providing occasional views of the high pitched tiled roofs, some natural vertical timber tiling, new chimneys and well presented entrance.

Given the extensive site area, and the fact that the height and bulk have been significantly reduced after the previous submission, the proposed design is even more subservient to its plot and landscaped setting. This characteristic is replicated at most sites within the Conservation Area and is an important feature.

As an illustration of this, planning permission to build a double storey extension was granted for Parkfield House (SE/11/00943/FUL/ 13/04/2011) claiming that the dwelling is set back from the front boundary by approximately 20m. The boundary is lined by a dense, tall well- established hedgerow. Parkfield is located at a higher level than the level of Tanglewood by approximately 2m. This difference in level means that the house, while being larger in size than existing, does not appear dominant when viewed from the road boundary. Planning permission was also granted for two a storey side extension to Oak Lodge based on these grounds (SE/12/00375/HOUSE 04/04/2012).

Tanglewood being set back by 40m from and 2m lower than Parkfield, means that even better privacy is achieved, whilst dense tall well-established and newly-planted vegetation screens most views into the site.

Tanglewood, as originally built, had limited architectural merit and was designed by an unknown designer. It was constructed only around 40 years ago and has removed any intrinsic value as an early example of development on the estate. It is true that many Parkfield properties are highly-visible but because they blend with each other none are dominant. Ironically the ‘stand-out’ properties are those which are tired, unfortunately-extended or built of poor-quality products of yesteryear; these properties seem to detract from the CA objectives. One of these houses is Tanglewood.

Although identified in the Council’s WCAAMP as one of the many buildings contributing to the character of the area, in our view its contribution is limited. This is supported by the Conservation Officer’s comments, made during the previous application:

*“Whilst the current building appears pedestrian in appearance it does contribute some key features that are important to the character of this conservation area; namely the generous size, the location on the plot, and the space between buildings.”*

*“The current building has been identified as a building that contributes towards the character in the appraisal and I feel that this is because of the traditional*

*form, proportions, location on site and spaces between buildings. You are proposing to maintain the building line and to enhance the verdant character of the site which is welcomed and should continue in any further submissions.”*

Further commentary from the conservation officer in relation to pre-application advice PA/15/00974 in March 2016 stated: *“Whilst the existing property hints at the Kentish Vernacular and the Arts and Crafts movement the overall “architectural detailing of the building is more restrained compared with other buildings in the conservation area.”*

Traditionally, Parkfield occupants have arranged the entrance to their front garden by simply cutting out a minimal one car wide opening in the hedge and sometimes with a vehicular gate installed. Such landscape arrangements reduce the characteristic “rural feel” and openness of the road. Our scheme on the contrary has opened up the replanted and redesigned front garden of Tanglewood to be readily seen from Parkfield and enjoyed by passers-by, whilst maintaining and enhancing the privacy by way of a strategic and functional planting scheme. It is worth mentioning that there was a lot of interest expressed in the new planting scheme and a very positive response was received from many of the residents of Parkfield.

The proposed entrance to the house was positioned to work with the functionality of the new front garden, but also be seen from Parkfield and make the house feel welcoming. Road frontages are bounded by grass verges and established trees which are both distinctive features, of the road along with the predominant residential use which is evident.

Tanglewood as proposed retains a modest overall structural size in keeping with the host dwelling due to the following design factors:

- The area is characterised by an attractive and well established landscaped setting with houses being subservient to this and being set back from their plot’s front boundary. Most of the houses in surrounding area have been extended or replaced over the years. Tanglewood is set back by around 40m from Parkfield and hidden behind the existing mature vegetation from both neighbouring houses and the public vantage points;
- The proposed scheme respects the topography of the site;
- The house extension has been positioned to allow for retention of all existing trees within the site, allowing for the existing screening and sylvan nature to be maintained;
- A formal arboricultural survey has been carried out and it is confirmed there is no risk that the tree roots will be damaged by concrete foundations;
- Extensive further planting of both front and back gardens with mature local trees and shrubs;

- Tanglewood as proposed does not extend beyond the existing front and side elevations thus maintaining the openness and Arcadian nature of the site characteristic to the Wildernesse Estate. The existing separation distances between the house and its neighbours are also maintained;
- The natural topography of the land sees the Ground Floor level at 2m lower than the corresponding level of the road itself, meaning that it is one of the lowest of three houses on Parkfield, appearing even lower and even more concealed behind the existing mature vegetation. The difference in level means that the house is not a dominant feature when viewed from outside the site.
- WCAAMP identifies the ‘rural’ appearance of the area with its informal entrances designed to appear like a country lane as one of the key characteristics of the area which was purposefully designed in this way.

The entrance will be formalised through the appropriate soft landscaping rather than installing formal gates at the beginning of the driveway thus uniting the house with its natural settings even more.

If any screening vegetation at Tanglewood has have a limited life, this would not preclude the replacement of any existing trees and shrubs should they become diseased or otherwise die.

The proposed scheme supports the requirement in WCAAMP that *"individual houses of diverse design are to be carefully sited on large plots to maintain the effect of a rural wooded landscape not dominated but the built environment."*

### 3.3.1 Architectural Style and Recent Amendments

#### *Architectural Design Approach*

As mentioned earlier in this document (please, refer to the Chapter "Tanglewood's Setting and its Historical Context") only some of the properties have been constructed in the style of the English 'Arts and Crafts' movement. The character of the wilderness estate is defined by diversity; a mix of neo-Georgian, distinctly-modern, rendered, 1970s and 1930s origin. The estate displays an interesting and eclectic mix of styles and eras. The street-scene is unified by high-quality, unique design; most properties are beacons of economic prosperity that give pride, identity and assurance to the Conservation Area, thus furthering Sevenoaks as a desirable residential area in which to live.

The Conservation Officer has confirmed in previous dialogue:

*"There is not a prescribed architectural style for new development but it is important any proposal preserves or enhances the distinct character of the conservation area."*

Further, the WCAAMP supports this statement:

*"Designation of a Conservation Area does not mean that changes cannot occur, but rather that any change should preserve or enhance the features which make up its special character."*

Following the extensive consultation for Wilderness Estate Village Design Statement, residents also appear to believe that the richness of the Wilderness Estate Conservation Area comes from variety and quality of design, not one single style-type. However, residents are cohesive in their support for trees, natural planting, spaciousness, sustainable design and use of local materials.

There is very little support among residents for promoting Arts & Crafts detailing above any other. The residents favour high-quality over any prescribed design style, a point that is further raised within the enclosed Planning Statement.

It is appreciated that the WCAAMP refers to Arts and Crafts Style architectural features evident within the Estate, however the focus of WCAAMP is on core features of the movement such as high quality craftsmanship, extensive landscaping and the setting of properties within their plots rather than the design of the dwellings themselves.

We have taken some of our design inspiration partly from the areas evident in Arts and Crafts history and reinterpreted this with concepts that are more fitting within the contemporary requirements for high quality materials, aesthetics and functionality. We believe that the alterations create attractive additions to the Tanglewood site which also complement both the street scene and the Conservation Area.

#### *October 2019 Amendments*

The Conservation Officer Elizabeth Ashworth has written a report dated 16.09.19 in relation to the Planning Application 19/02137/FUL. We believe that we have addressed all her comments and made the dwelling look much more traditional by introducing a traditional hip roof with a long horizontal ridge parallel to Parkfield, the front gables have been lowered by about a meter and are now subservient to the hip roof, two symmetrical chimneys, clear separation between the First and the Ground Floors with the means of timber cladding, and also lowered the Ridge Level even further. Please, see the drawings attached and the description of the amendments below.

#### 1. Elizabeth Ashworth's comments:

" The orientation of the roof with the three front facing gables running the depth of the building is out of character with the prevailing roof forms found in the conservation area as where there are street facing gables, these are small elements coming off a perpendicular ridge."

Our response:

We have introduced a traditional hip roof with the main horizontal ridge that is parallel to Parkfield and raises above the three subservient gables. Also, as the horizontal ridge may look a bit heavier on the front elevation, than three gables on their own as on the previous scheme, we have reduced the ridge level even more to be approximately 37cm lower than the ridge level of High Weald.





Figure 15: South elevation. Please, refer to the drawing 02.2.02 attached

Additionally, we have introduced a cat slide roof going down to the lower first floor level on the rear elevation. Please, see below the Northern 3D View of Tanglewood as proposed and its neighbours:

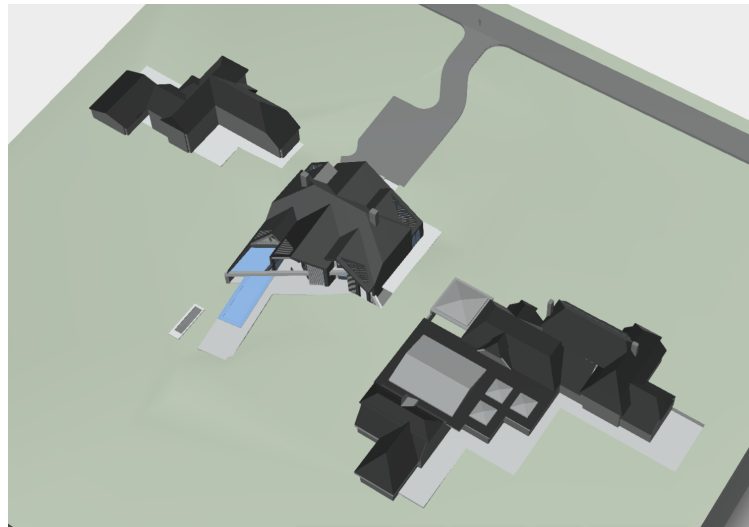


Figure 16: 3D View of Tanglewood as proposed and its neighbours: Hip Roof with a cat-slide pitch on the rear elevation

Also, the proposed Tanglewood emphasises the familiar features of its neighbours, like the traditional hip roof shape and two symmetrical chimneys at each end of the horizontal ridge.



Figure 17: South elevation with Tanglewood’s immediate neighbours. Please, refer to the drawing 02.2.10 attached

The overall shape of Tanglewood as proposed looks in keeping with the other houses on Park-field:

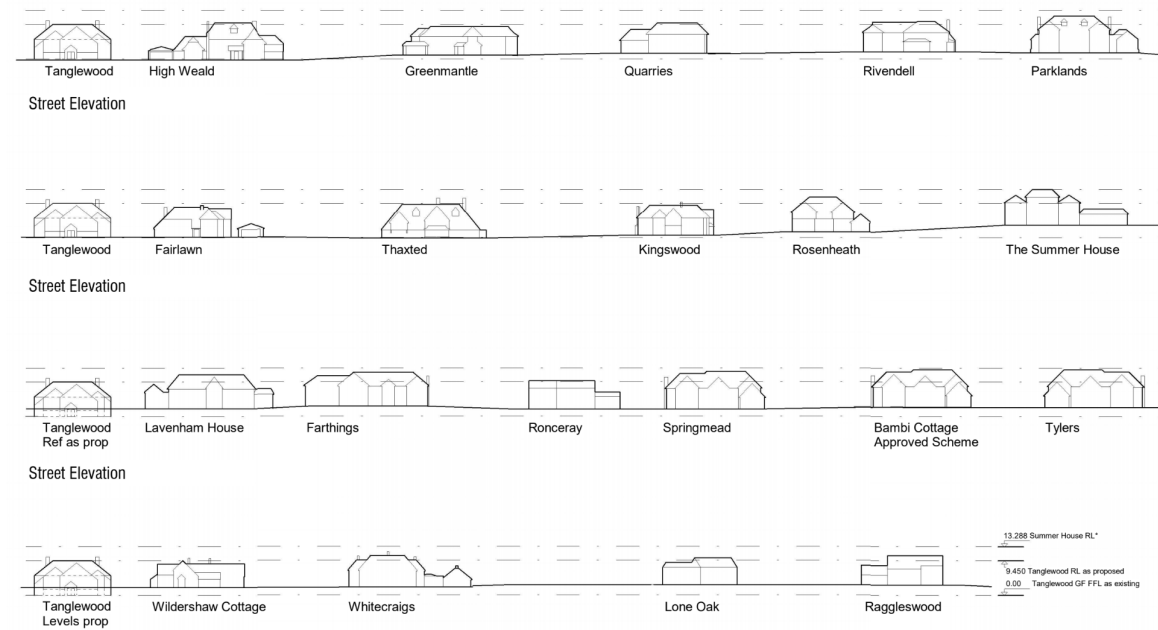


Figure 18: Parkfield elevations. Please, refer to the drawing 02.2.12 attached

2. Elizabeth Ashworth's comments:

" The scale and detailing of the glazing above the central entrance door appears more representative of a place of worship than a domestic building"

Our response:

We have covered all the glazing above the main entrance at the first floor level with the semi-transparent timber solar gain screening. This design amendment serves the following purposes:

- Veils the tall windows on the main elevation;
- Visually reduces the height of the gables;
- Softens the shape of the gables;
- Equalises the size of the central and eastern gables;
- Introduces articulation of the ground and first floors;

3. Elizabeth Ashworth's comments:

" It gives the building a strong ecclesiastical character by replicating the traditional form of the tall-est central nave and two side aisles."

Our response: Addressed. Please, refer to our response to the item No. 2 above.

4. Elizabeth Ashworth's comments:

" The lack of articulation of the ground and first floor on the front elevation also contributes to the non-residential character of the building."

Our response: Addressed. Please, refer to our response to the item No. 2 above.

5. Elizabeth Ashworth's comments:

" The unbroken floor to eaves detailing of the timber slats and cladding gives the building vertical emphasis and highlighting the strong roof form."

Our response: Addressed. Please, refer to our response to the item No. 2 above.

### 3.3.2 Aesthetic Qualities: Shape and Scale

Although the resultant dwelling would appear slightly larger, its size is not out of character with the properties in this area of Sevenoaks, especially within the Wildernes Estate. It is important to recognise that the existing dwelling is one of the smallest and shortest houses on Parkfield especially in comparison with its neighbour High Weald having the total living area of 11,000 sq feet. Also, the proposed scheme will not project beyond east, west and front existing building lines.

The footprint of the building in relation to its surroundings is similar to the already approved 2018 18/01983/HOUSE and 19/00932/MMA. The total number of floors is kept as original, loft excluded. The size of the extension at first floor level was minimised and we have opted to extend the Ground Floor to the rear and to sink the extension into the ground in line with the natural topography of the site. The proposed size of the extended dwelling is to remain compatible with generous plot size afforded.

#### *Extensions*

The extensions have been designed to appear not as an accidental addition to the property but to give the appearance of a carefully designed whole. The scale of the extensions are appropriate to complement the main part of the house and provide a design which sits comfortably on all four elevations.

This approach complies with the requirement of the WCAAMP:

*“Proposed extensions must take into account the scale of the existing building and must not dominate or overwhelm the original. Extensions should respect the form and character of the original building and its locality and use high quality materials and detailing. ”*

The rear extension is light, non-overbearing and non-dominant to the neighbours due to the following factors:

- Geometry of the sloping roof disappearing into the ground following the natural fall of the terrain;
- Main ridge level is below the one of the neighbouring property High Weald;
- The ridge level of the eastern extension is 2.9m lower than the ridge of the main house;

- Replacement of heavy horizontal ridge line of the main elevation with three asymmetrical pitched roofs and traditional gables;
- Location within the plot.

The size of the extensions is modest in comparison with other extensions on the road and is of an appropriate scale given both plot size and the nature of the surrounding properties. Past extension to the adjacent property of High Weald are shown to be in keeping with both the scale of the property and their afforded plots. This is also reflective of the occupants differing needs. As High Weald is occupied by a larger family, its extension needed to be larger, whilst Tanglewood is home to a slightly smaller family hence a slightly smaller extension needed, both of which are appropriately sized to fit within their plots.

The residential area has substantial houses in large plots of differing sizes, styles and appearances. We believe, that the proposed redevelopment of Tanglewood is designed to be gainly and sympathetic, proportionate to scale and congruous to character of the road.

### *Fenestration*

The existing fenestration of Tanglewood is out of keeping with what you would expect to find in a house within a Conservation Area. We are proposing to replace the existing uPVC windows with high thermal quality aluminium ones of the improved proportions.

We have also added vertical glazing in the communal areas of the house in order to increase the light levels within the building to avoid dark internal spaces due to the deep plan. The exposed traditional Tudor oak frames are proposed to support the double height glazing of the main elevation. The location of the vertical fenestration was chosen very carefully, to emphasise the characteristic predominant front gables and exposed solid timber structural frames.

### *Roof*

The proposal reflects the simplistic roof form favoured by the Arts and Crafts movement and as highlighted in the Conservation Area Appraisal one of the key features of the area is that ‘roofs are almost universally well-pitched and tiled’, thus being subservient and nestling amongst the surrounding landscape.

All roof pitches have between 40- and 45-degrees slopes, except the small roof over the swimming pool extension, which is almost flat. It is, however, not visible on any elevation.

Following the Arts and Crafts traditional architecture, Tanglewood's proposed roof simplifies its over-all perceived geometry by putting accent on horizontal lines and the balance of the horizontal with the vertical on elevations. This design technique visually unites the building and the terrain, thus respecting the topography of the site and preserves the characteristics of the Wildernesse Estate's Arcadian nature of the landscape.

The proposed stylised hipped roofs of improved proportions (in comparison with 18/0383 6/FUL) and staggered ridgeline are aimed to further reduce the bulk of the house. The stepping down of pitched roof lines indicate that this part is subservient to the character and appearance of the dwelling and will preserve the character and appearance of the Conservation Area.

The proposed dwelling does not have a continuous ridge level, but a peak, from where the attached ridges slope down to the ground. This prescribed design strategy has been employed to make Tanglewood look less voluminous in comparison to the existing houses in Wildernesse that use continuous horizontal ridges. Tanglewood is proposed to be of a lower height than High Weald and will fall below the average ridge heights on Parkfield.

#### *Main entrance*

The existing main entrance, which is not central and is currently concealed, is not significant for a large house within the conservation area. We propose to move the entrance to a slightly more central position. It will add importance to the entrance and create the focal point that the house deserves. Arts and Crafts houses often have the prominent entrance porches and it is considered that the provision of such a feature would enhance its appearance and its relationship to the Conservation Area. A new secure solid oak front door with traditional pattern and entrance porch will have a glazed gable feature. Both will provide articulation across the front elevation. The contemporary design will complement more traditional appearance of porch, front door and the host dwelling. The new porch will provide a feature across the front elevation commonly associated with Arts and Crafts houses.

#### *Garage*

The removal of the industrial garage doors typical to the 1960s style would improve the appearance of the house. Loss of the covered garage for one car would not result in loss of parking spaces as a very recent hard landscaping was carried out and provided allocated parking space for six cars.

### **3.3.3 Individuality**

Whilst the proposed house design sits well within its surroundings, complements the existing Wildernesse Estate houses, uses a vast amount of historic architectural features, it is not pastiche and adds to the diversity of the Estate. We believe, that Conservation Area's distinctive character might be extended by the design that has individuality, yet does not stand out and challenge the existing style of the Estate.

The risks that pastiche and prohibited modernisation pose to the Conservation Area are clearly documented within the guidelines of Historic England, SPAB and Wildernesse Conservation Area Appraisal and Management Plan, however the potential for contemporary architecture to improve a Conservation Area is more nuanced.

### **3.3.4 Materiality and Craftsmanship**

The following materials will be used: traditional timber hung tiles, natural slate tiles, oak frame, rendered chimneys, hand-made solid oak front door and timber privacy screens. All materials will be locally sourced wherever possible and will be of the highest quality. We will ensure the continuity of materials and seamless match, perfectly assimilating the extension to the house. Please refer to the materials schedule on the submitted drawings. The highest attention to detail will be ensured.

### 3.4 Context

#### 3.4.1 Demolition

The following section communicates the comments made by the Conservation Officer Ms. Lamb in respect of the previous application and the resulting changes made as a direct result of the Pre-Application process in 2018.

Ms Lamb stated:

*“Regarding Tanglewood, the Conservation Team’s view was that there is no objection to the principle of the demolition of the existing building and construction of a replacement building with a more modern style of architecture.”*

Recently a permission was granted to demolish and replace Tanglewood (19/01641/FUL). This consent establishes that the principle of demolition and redevelopment is acceptable.

Planning case Officer Alexis Stanyer added to the subject:

*“Policy EN3 states that where demolition is being proposed within a Conservation Area, buildings which make a positive contribution to the character and appearance of the conservation area should be conserved. Only where a building is deemed to make no contribution can demolition be considered, subject to the submission and approval of a detailed plan for redevelopment or after use of the site.*

*The property is situated within the Wildernesse Conservation Area and it sits adjacent to two locally listed properties. It has also been identified in the Conservation Area Appraisal as being property, which positively contributes to the character and appearance of the conservation area. It’s contributes in terms of its appearance, form, scale, roof design and use of materials, important attributes that form the character and appearance of the area, by mirroring the scale/design of development .”*

We have redesigned the 18/03836/FUL scheme and now propose an improved design that contributes to the Conservation Area in terms of its appearance, form, scale, roof design and use of materials. Also, the scheme ensures a lower carbon footprint during future occupation. An example for other residents will be set to pursue sustainable development, and provide encouragement that it can be done whilst remaining within the budget.



The Wilderness Conservation Area Appraisal and Management Plan refers to the written criteria from English Heritage. When considering the contribution made by unlisted buildings to the special architectural or historic interest of a Conservation Area. In English Heritage's view, any one of these characteristics could provide the basis for considering that a building makes a positive contribution to the special interest of a conservation area, provided that its historic form and values have not been seriously eroded by unsympathetic alteration.

The existing dwelling at Tanglewood is assessed against the following criteria:

- Is the building the work of a particular architect of regional or local note?
- Has it qualities of age, style, materials or any other characteristics which reflect those of at least a substantial number of the buildings in the conservation area?
- Does it relate by age, materials or in any other historically significant way to adjacent listed buildings, and contribute positively to their setting?
- Does it individually, or as part of a group, serve as a reminder of the gradual development of the settlement in which it stands, or of an earlier phase of growth?
- Does it have significant historic association with established features such as the road layout, burgage plots, a town park or a landscape feature?
- Does the building have landmark quality, or contribute to the quality of recognisable spaces, including exteriors or open spaces with a complex of public buildings?
- Does it reflect the traditional functional character of, or former uses within, the area?
- Has it significant historic associations with local people or past events?
- Does its use contribute to the character or appearance of the conservation area?
- If a structure associated with a designed landscape within the conservation area, such as a significant wall, terracing or a minor garden building, is it of identifiable importance to the historic design?

All questions had negative answers except for the fact that the dwelling has traditional brickwork, has pitched roofs and is situated on a spacious plot with tall mature vegetation. All these features are preserved within the new proposal whilst enhancing many other characteristic qualities of the Conservation Area, thus justifying the demolition of the existing house and rebuild of a much higher quality dwelling from both aesthetic and functional point of views.

The negative features of the existing house (please refer to WCAAMP Chapter 9) that detract from the high quality of the Conservation Area cannot be fixed by refurbishment, especially if the goal is to meet the high level sustainability criteria of the present and future, hence the erection of a new building is proposed.

As a Conservation Area is a designated heritage asset, any proposal is assessed against Chapter 16 ‘Conserving enhancing the historic environment’ of NPPF. In particular Para.194:

*“Any harm to, or loss of, the significance of a designated Heritage Asset from its alteration or destruction, or form development within its setting should require clear and convincing justification.”*

The main reasons for the replacement of the dwelling are:

- Future-proofing by adhering to a high sustainability level. The proposed steel and timber frame construction offers better flexibility in designing the required mechanical and electrical systems (ME) layout to achieve high level of ventilation, at least 4 stars of BRE Home Quality Mark and the equivalent of Level 5 of the former Code for Sustainable Homes;
- The proposed steel frame construction enables almost unlimited flexibility in the interior layout;
- Reduced overall running costs during the lifetime of the building;
- More eco-friendly materials and intelligent sustainable M+E design that works around the natural ventilation principles, with a positive impact on the occupant’s health and well-being;
- The environmental footprint of the building after it is constructed will be minimal;
- The proposed building will be more resilient to flooding and overheating;

The reasons stated above show how value will be added by the new high-performance property in comparison to the existing property if it had only been aesthetically refurbished.

As it has been decided to build a new building as opposed to refurbishing the existing building, a very significant commitment to resource heavy construction has already been made. To offset this, relevant calculations have been made and the high target level of BRE Home Quality Mark One assessment is aimed for. BRE published Technical Manual

on the accreditation and how it is assessed is attached to the Design and Access Statement. Code for Sustainable Homes Technical Guide is also attached for more information.

The current National Planning Policy Framework makes it clear that there should be a presumption in favour of sustainable developments. A full Planning Statement has been prepared as a preparatory step to understand the local context within the planning policies.

Numerous consultations with the local community and local access groups as well as with local authority planning, building control, conservation and design and access officers have been carried out. The Planning Statement gives a detailed description of how these views have been take into account.

### 3.4.2 Proposal

The current proposal does not intend to go against WCAAMP and copy the traditional Arts and Crafts houses. The best examples of this style were designed and built by major architects of the last century. Attempting to copy them would simply lead to a likelihood of a design failure creating more pastiche architecture. Also, the NPPF states at paragraph 200 that:

*"Local Planning Authorities should look for new development within Conservation Areas...to enhance or better reveal their significance. Proposals that preserved those elements of the setting that made a positive contribution to the asset (or which better reveal its significance) should be treated favourably."*

It goes on to state that:

*"Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance."*

This is certainly considered to be applicable to the existing dwelling at Tanglewood.

Furthermore, Paragraph 131 of the NPPF states that

*"Great weight should be given to outstanding or innovative designs which promote high levels of sustainability. It is considered that this proposal meets these objectives and as a result great weight should be given to the positive design features displayed."*

Please see the descriptions and visual references of the main architectural features proposed below.

### *Ground Floor*

- The shape of the footprint is very similar to the one approved 19/01641/FULL and 18/01983/HOUSE;
- The Northern boundary is moved further towards the rear garden in comparison to the approved (19/01641/FUL and 18/01983/HOUSE), however the layout still maintains the distance between the house and both neighbours, preserving their privacy and spacious character of the plot;
- The footprint is more stepped to aid organisation of the internal open-plan space and add interest to elevations. The more irregular layout acts to reduce the massing of the building.

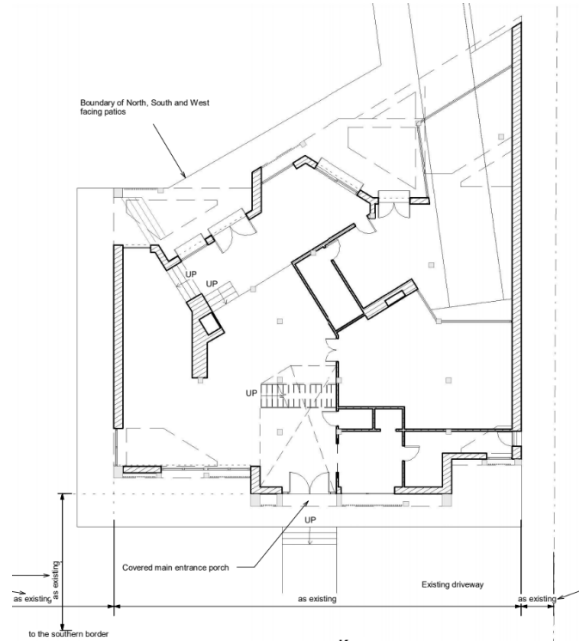


Figure 19: Ground Floor as Proposed

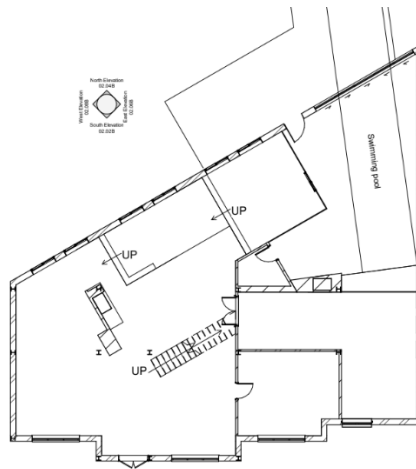


Figure 20: Ground Floor as Approved (19/01641/FUL and 18/01983/HOUSE):

### *First Floor*

- Additional habitable space added under the eaves
- The shape of the footprint is consistent with the one on the Ground Floor to aid continuity and make extensions seem subservient to the main volume of the house.

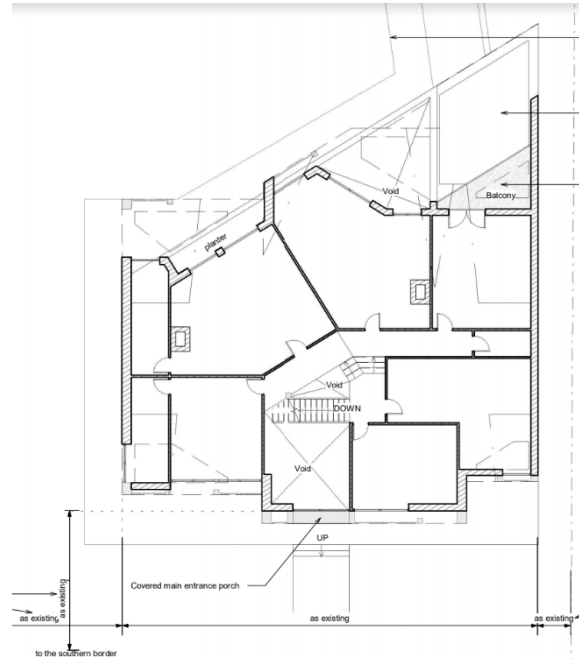


Figure 21: 1st Floor as Proposed

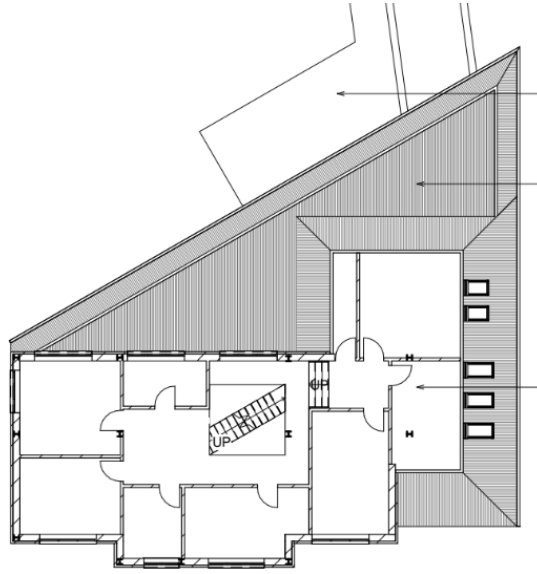


Figure 22: 1st Floor as Approved (19/01641/FUL):

### *Loft*

Loft area previously proposed in the refused application 18/03836/full is now omitted.

### *Roof Plan*

The following changes are proposed to the Roof Plan:

- The scale and shape of the Roof Plan as proposed is similar to that already approved;
- There are 6 slatted openings within the roof that provide extra daylight into the habitable space, but protect from extra solar gain and overheating;
- Two chimneys are introduced;
- Glass roof over the indoor part of the swimming pool is introduced. No overheating is anticipated as it is situated on the North-East side of the property. It is not visible from any elevations.
- Materials: natural oak (fascias, roof frame and privacy screening), natural slate (roof), render (chimneys), aluminium (window frames). All colours of a natural palette displayed within the Estate.



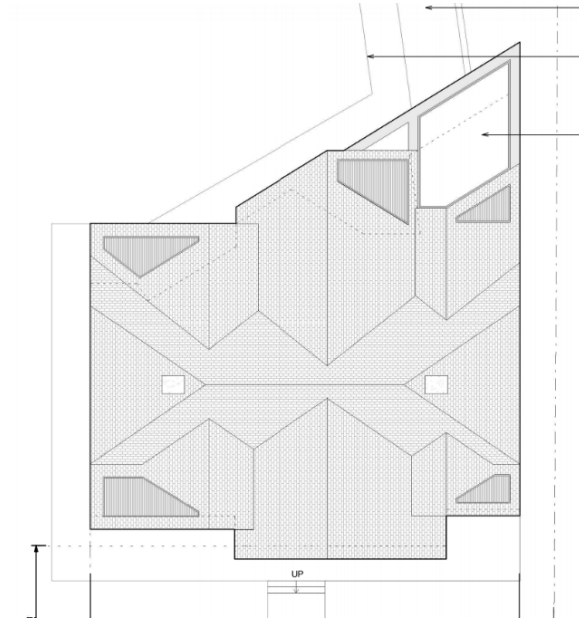


Figure 23: Roof Plan as Proposed

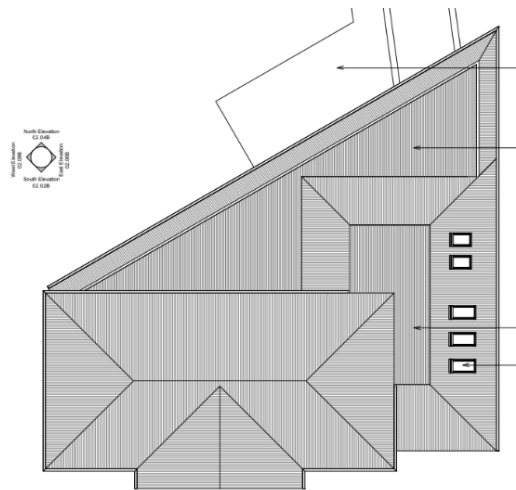


Figure 24: Roof Plan as Approved (19/01641/FUL):

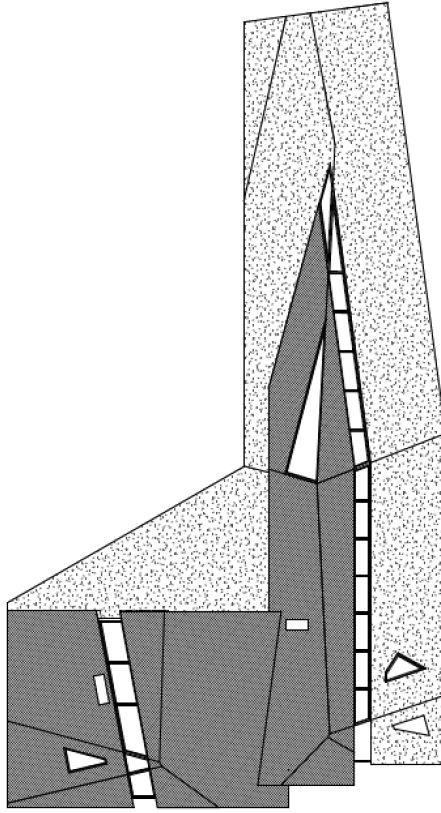


Figure 25: Refused Roof Plan (18/03836/FUL):

### *Main (South) Elevation*

- Tanglewood as existing has one predominant gable. Its shape and height are preserved with the volume of the timber frame and glass structure, covered with the oak vertical privacy screening;
- We have introduced a traditional hip roof with the main horizontal ridge that is parallel to Parkfield and raises above the three subservient gables. Also, as the horizontal ridge may look a bit heavier on the front elevation, than three gables on their own as on the previous scheme, we have reduced the ridge level even more to be approximately 37cm lower than the ridge level of High Weald;
- The bulk and height of the proposed design (both July 2019 submission and even more so in the October 2019 revision) is reduced substantially in comparison with the scheme proposed under the refused 18/03836/FULL. The loft area has been removed and the ridge height is only approximately 90cm higher than the existing, making the new Tanglewood just under the height of High Weald. The proposed ridge level in the refused 18/03836/FUL was approximately 3m higher than the existing dwelling;
- The house is split into three much smaller gables to balance out the elevations and make them more subservient to the main hip roof, which makes it more in proportion with other houses on Parkfield, and in comparison to the two bigger volumes which were proposed during in the previously refused planning application (18/03836/FUL);
- Additional two gables set-back, are positioned at each side of the main part of the house, thus emphasising the main entrance;
- Well defined entrance with characteristic traditionally detailed hand-made solid oak front door and covered porch introduced;
- Two chimneys balance out the front elevation;
- Materials: natural oak (fascias, eaves, hung tiles, frame and privacy screening), natural slate (roof), glass (oak framed bays), render (chimneys), aluminium (window frames). All colours of a natural palette displayed within the Estate.



Figure 26: Main Elevation as Proposed:



Figure 27: Main Elevation as Approved (19/01641/FUL):



Figure 28: Main Elevation as Refused (18/03836/FUL):

### *Eastern Elevation*

- Roof ridges at the rear follow the topography of the plot and slopes down away from Parkfield, thus reducing the visual perception of the height on the North Elevation.
- A cat slide roof going down to the lower first floor level on the rear elevation;
- There are 3 shaded openings within the roof that provide extra daylight into the habitable space, but protect from overheating;
- Only one chimney is visible on the side elevation;
- The bulk and height of the proposed design is reduced substantially.
- Roof overhang covers proposed small balcony on the first floor, thus privacy of the neighbours is preserved. The balcony is not visible on the Eastern Elevation;
- Materials: natural oak (fascias, eaves, hung tiles, frame and privacy screening), natural slate (roof), glass (oak framed bays), render (chimneys), aluminium (window frames). All colours of a natural palette displayed within the Estate.

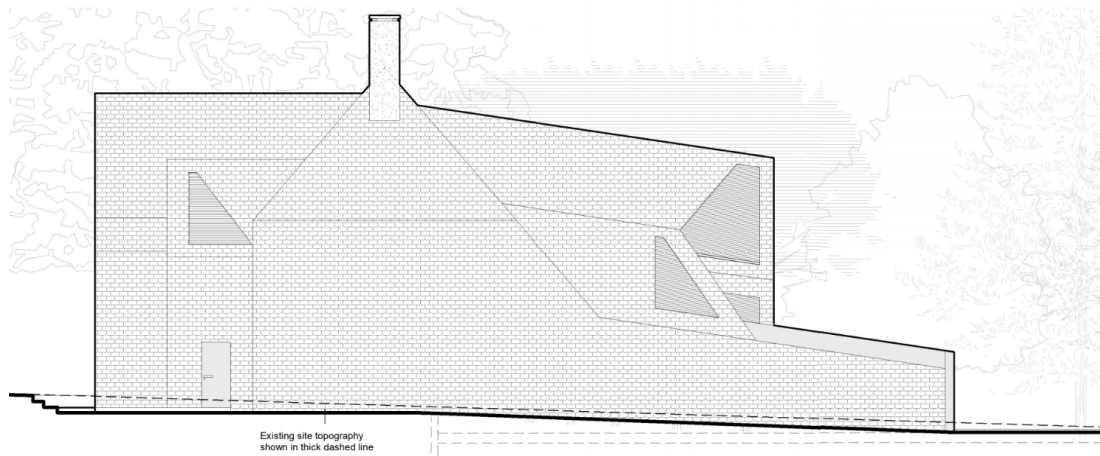


Figure 29: Eastern Elevation as Proposed



Figure 30: Eastern Elevation as Approved (19/01641/FUL):

### *Northern Elevation*

- The bulk and height of the proposed design is reduced substantially. As on the main elevation, a traditional hip roof with the main horizontal ridge was introduced. The ridge is parallel to Parkfield and raises above the three subservient gables that are lower than the ones on the main elevation.
- Barely visible, the shaded openings within the roof that provide extra daylight into the habitable space, but protect from overheating;
- The house is split into three much smaller volumes of traditional shape to balance out the elevations and makes it more in proportion with other houses on Parkfield, in comparison to the two bigger volumes proposed during the previously refused planning application (18/03836/FUL);
- Two chimneys each end of the hip roof balance out the elevation;
- The roof form follows the geometry of the main facade to ensure design consistency;
- Leaning horizontal shape of the fascia of the balconies and glass roof resembles and compliments the form of the ridges on side elevations;
- Materials: natural oak (fascias, eaves, hung tiles, frame and privacy screening), natural slate (roof), glass (oak framed bays), render (chimneys), aluminium (window frames). All colours of a natural palette displayed within the Estate;
- Roof overhang covers proposed small balcony on the first floor, thus privacy of the neighbours is preserved.



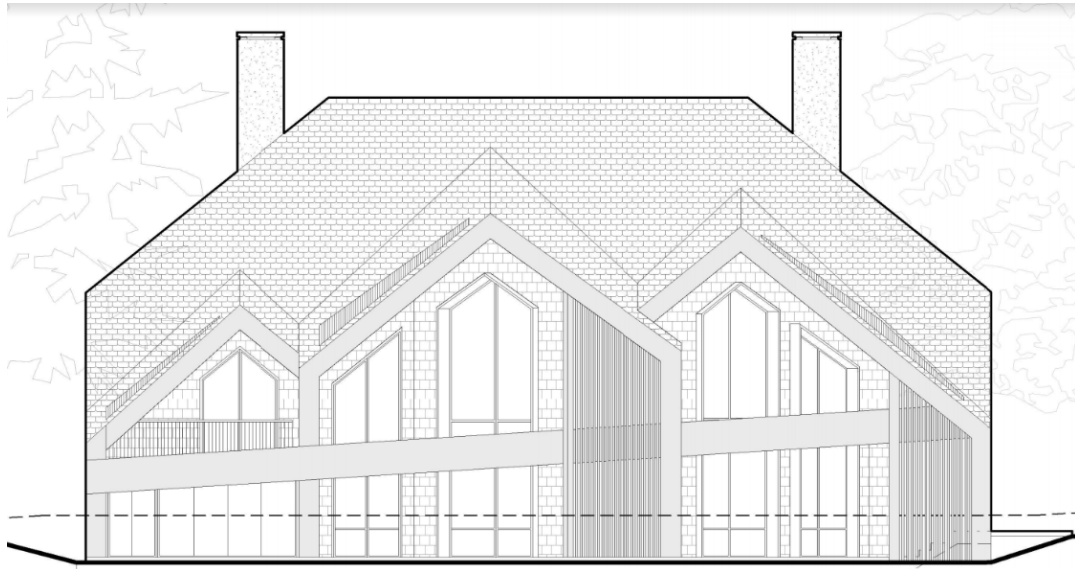


Figure 31: Northern Elevation as Proposed:



Figure 32: Northern Elevation as Approved (19/01641/FUL):



Figure 33: Northern Elevation as Refused (18/03836/FUL):

### *Western Elevation*

- Roof ridge follows the topography of the plot and slopes down away from Parkfield, thus reducing the visual perception of the height on the North Elevation;
- The bulk and height of the proposed design is reduced substantially;
- There are 3 shaded openings within the roof that provide extra daylight into the habitable space, but protect from overheating;
- Only one chimney is visible on the side elevation;
- Materials: natural oak (fascias, eaves, hung tiles, frame and privacy screening), natural slate (roof), glass (oak framed bays), render (chimneys), aluminium (window frames). All colours of a natural palette displayed within the Estate;
- Roof overhang covers proposed small balconies on the first floor, thus privacy of the neighbours is preserved.

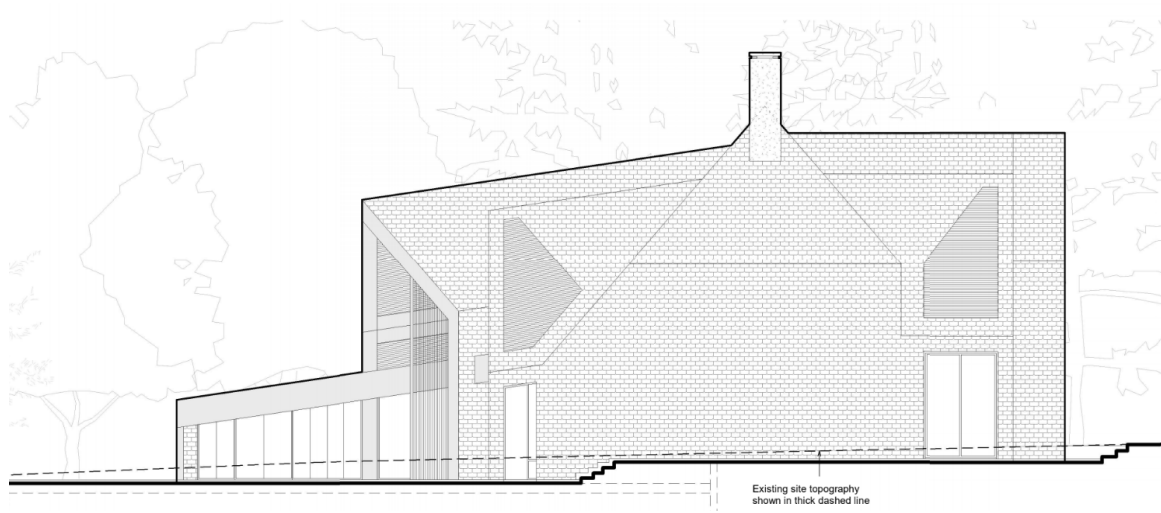


Figure 34: Western Elevation as Proposed:



Figure 35: Western Elevation as Approved (19/01641/FUL):

### *Street Elevations*

- The bulk and height of the proposed design is reduced substantially;
- The reduced ridge height is only approximately 90cm higher than the existing, making the new Tanglewood just under the height of High Weald. The proposed ridge level in the refused 18/03836/FULL was approximately 3m higher than the existing dwelling. We have introduced a traditional hip roof with the main horizontal ridge that is parallel to Parkfield and raises above the three subservient gables (please, see Figure 15 on p. 29). Also, as the horizontal ridge may look a bit heavier on the front elevation, than three gables on their own as on the previous scheme, we have reduced the ridge level even more to be approximately 37cm lower than the ridge level of High Weald. Additionally, we have introduced a cat slide roof going down to the lower first floor level on the rear elevation (please, see Figure 16 on p. 29). Thus the proposed Tanglewood looks in keeping with the other houses on Parkfield and emphasises the familiar features of its neighbours, like the traditional hip roof shape, cat slide roofs and two chimneys at each end of the horizontal ridge (please, see Figure 18 on p. 30);



Figure 36: Street Elevations as Proposed

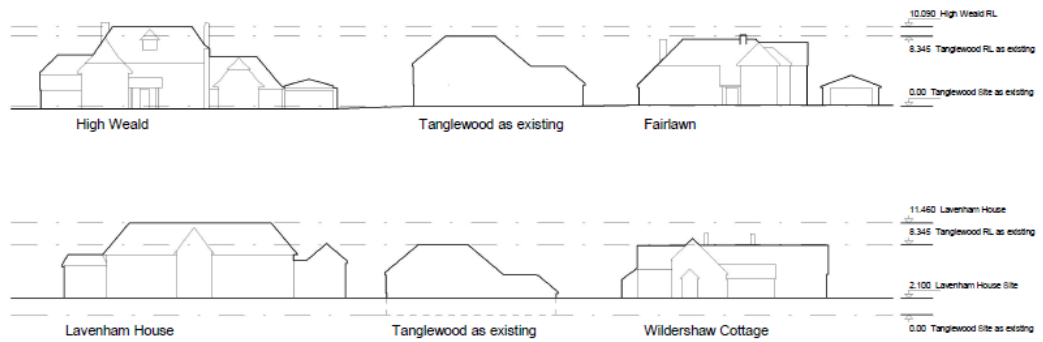


Figure 37: Street Elevations as Existing:

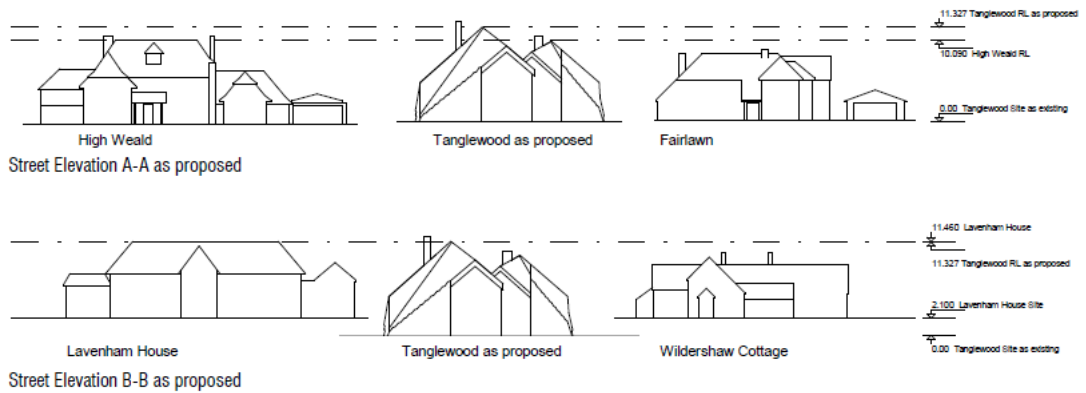


Figure 38: Street Elevations as Refused (18/03836/FUL):

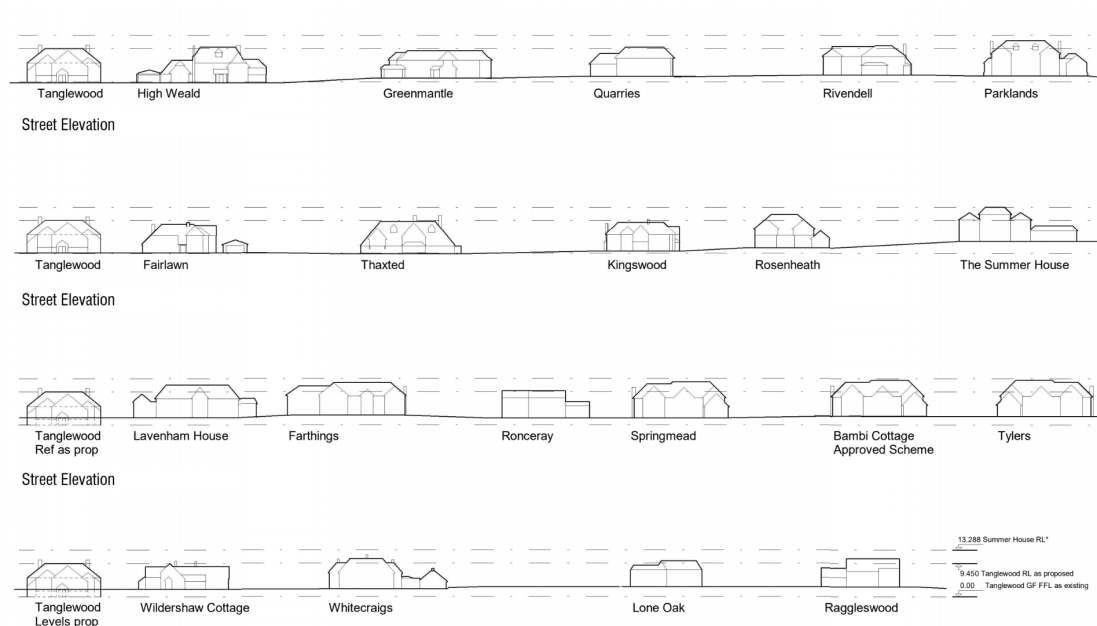


Figure 39: Street Elevations Along Parkfield as Proposed:

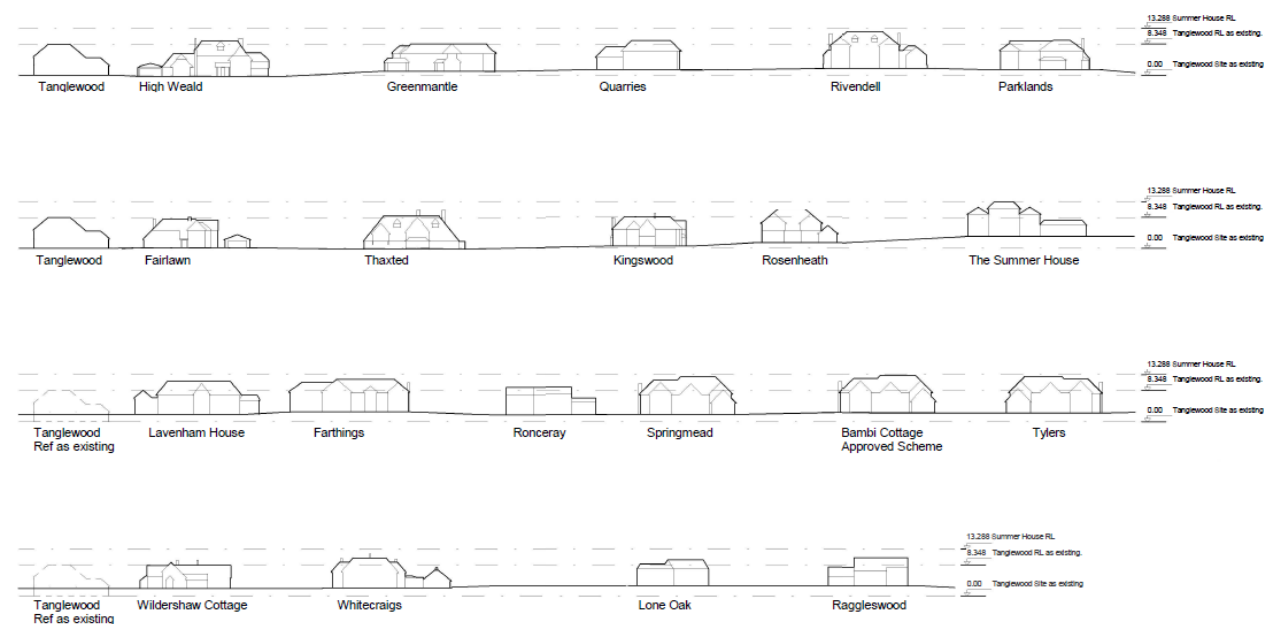


Figure 40: Street Elevations Along Parkfield as Existing:

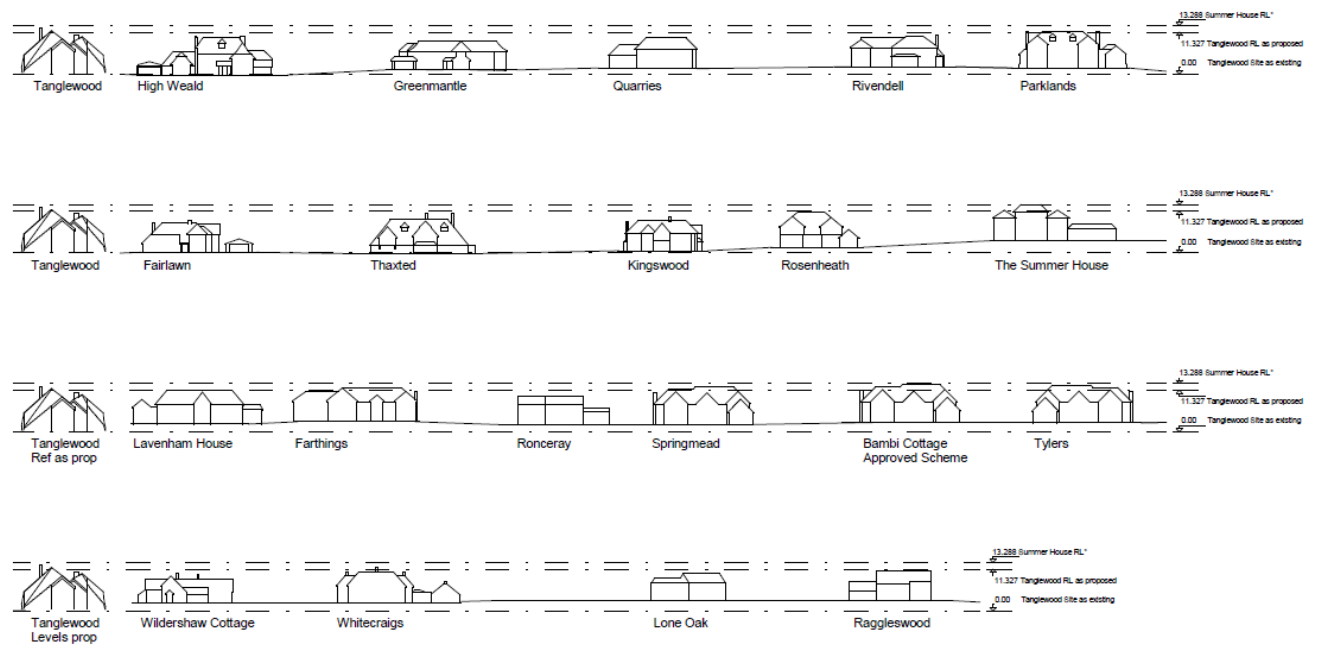


Figure 41: Street Elevations Along Parkfield as Refused (18/03836/FUL):



### *General Styling*

We believe, that the proposed development would preserve and enhance the special character and appearance of the Conservation Area. Tanglewood proposed scheme aims to be in harmony with and emphasise some of the general traditional kentish vernacular including Arts and Crafts motifs like simplicity, chimneys, gables, thus introducing a wider diversity of the common architectural features to the Conservation Area and enriching both Wildernesse Estate and a wider Sevenoaks area:



Figure 42: Blackwell by B.Scott



Figure 43: Goddards, Abinger Common,, E.L. Lutyens

Figure 44: Typical gate



Figure 45: Robert Franklin



Figure 46: The Barn, Exmouth



Figure 47: Folly Farm - E.L. Lutyens



Figure 48: The twin gabled west side of Homewood.



The Arts and Crafts architectural style makes emphasis on basic forms, asymmetry, stripped-back design, craftsmanship, creative expression, and the use of natural materials found locally. An Arts and Crafts-style house is characterised by horizontal forms, the use of indigenous materials, and architectural features that encourage interaction with nature. Arts and Crafts-style homes hug the ground with low-slung, often asymmetrical forms topped with gabled roofs that sweep down over a spacious front porch. We have tried to implement some of these features within the current proposal.

Please see the comparison table on the next page.

Arts and crafts features	Feature Presence in Tanglewood as existing	Feature Presence in Tanglewood as proposed	Notes
<i>1. Major general Features</i>			
1.1. High aesthetic qualities	very poor	<b>enhanced</b>	
1.2. Individuality	poor	<b>enhanced</b>	
1.3. High functionality	moderate	<b>enhanced</b>	
1.4. Context within it's environment	poor	<b>enhanced</b>	
1.5. Sustainability and biodiversity	very poor	<b>enhanced</b>	
1.6. Materiality, attention to details, decoration and craftsmanship	very poor	<b>enhanced</b>	
<i>2. The Building Form</i>			
2.1. Asymmetrical, relaxed style and 'unostentatious' character	moderate	<b>enhanced</b>	
2.2. House made up of well-defined pitched roof bays	moderate	<b>enhanced</b>	
2.3. Organic, simple, bulky and basic forms of the house	moderate	<b>enhanced</b>	
2.4. Clarity of form and structure	moderate	<b>enhanced</b>	
2.5. Focal interest feature on elevation	very poor	<b>enhanced</b>	
2.6. The balance of the horizontal with the vertical on elevations	poor	<b>enhanced</b>	
2.7. The First Floor is partially within the roof space	moderate	<b>enhanced</b>	
2.8. Presence of Loft	present	<b>omitted</b>	

Arts and crafts features	Feature Presence in Tanglewood as existing	Feature Presence in Tanglewood as proposed	Notes
2.9. Projecting or jettied First Floor	present	<b>preserved</b>	
2.10. Traditional and/or primitive construction	present	<b>enhanced</b>	
<i>3. Materials and Detailing</i>			
3.1. Reflection of local ver- nacular traditions	poor	<b>enhanced</b>	
3.2. Focus on the natural qualities of the materials	poor	<b>enhanced</b>	
3.3. Brick and naturally Sourced Stone Laid with Traditional Bond	present	<b>not present</b>	
3.4. Painted Render	not present	<b>present</b>	
3.5. Pebbledash	not present	<b>not present</b>	
3.6. Hung Clay or Timber Tiles at First Floor Level	present	<b>present</b>	
3.7. Infilled Timber Shipla- pand Oak Half timbering	not present	<b>not present</b>	
3.8. Decorative pargeting	not present	<b>not present, can be introduced</b>	
3.9. Diaper Work	not present	<b>not present, can be introduced</b>	
3.10. Extensive usage of patterns in decoration	not present	<b>introduced</b>	
3.11. Special attention to detailing	very poor	<b>enhanced</b>	
3.12. Natural palette colours	very poor	<b>enhanced</b>	

#### *4. Entrance*

Arts and crafts features	Feature Presence in Tanglewood as existing	Feature Presence in Tanglewood as proposed	Notes
4.1. Plank timber doors	present	<b>enhanced</b>	
4.2. Wide front door with solid proportions	not present	<b>introduced</b>	
4.3. Lych gate style porch made from green oak or painted softwood	not present	<b>present, part of hard landscaping</b>	
4.4. A recessed porch area or niche with an arched opening	present	<b>enhanced</b>	
4.5. Wooden or wrought iron gates	not present	<b>not present</b>	
4.6. Pergola with pedes- trian gate instead of porch as main elevation feature	very poor	<b>not present</b>	
<i>5. Roof</i>			
5.1. Pitched roofs with broad eaves and prominent gables	present	<b>enhanced</b>	
5.2. Pitched roof spans over each bay	present	<b>enhanced</b>	
5.3. Jerkinhead roof	not present	<b>not present</b>	
5.4. Low eaves	present	<b>present</b>	
5.5. Upper roofs extended to cover open porch or ve- randa	not present	<b>present</b>	
5.6. Exposed roof struc- tural elements	not present	<b>introduced</b>	
5.7. Roofing options: clay or stone tiles	concrete tiles	<b>enhanced</b>	
5.8. Employing more than one roofing material	not present	<b>not present</b>	

Arts and crafts features	Feature Presence in Tanglewood as existing	Feature Presence in Tanglewood as proposed	Notes
5.9. Poly-chromatic roofing	not present	<b>introduced</b>	
5.10. Large chimneys in right proportion	not present	<b>introduced</b>	

*6. interior Layout and Design*

6.1. Internal layout follows external building form	present	<b>enhanced</b>	
6.2. Entrance Hall is a main internal style defini- tion	not present	<b>introduced</b>	
6.3. Emphasis on the use of natural materials, patterns and craftsmanship	not present	<b>introduced</b>	

*7. Other major design features*

7.1. Loggia	not present	<b>introduced</b>	
7.2. Buttresses	not present	<b>not present, can be introduced</b>	
7.3. Garden Courtyards	not present	<b>modern interpretation introduced</b>	
7.4. Gazebos	not present	<b>part of future hard landscaping</b>	



### 3.4.3 Sustainability

#### *Former Code for Sustainable Homes Standard*

The beauty and promise of sustainable architecture and design lie in the integration of roof, building skin, interior, site location, technical detailing and overall building design.

The proposed scheme is aiming to meet and exceed the standards of energy and water consumption set in the former Code for Sustainable Homes. Whilst the code is no longer formally in use as a standalone set of standards, it's objectives are helpful as a benchmark with which to assess the sustainability performance of new developments. The proposal seeks to significantly enhance the biodiversity potential. Policy SP2 of Sevenoaks District Core Strategy states that District will contribute to reducing climate change by promoting best practice in sustainable design and construction to improve energy and water efficiency of all new development. It also states that new homes will be required to achieve at least Level 3, progressing to Level 4 from 2013 and will be encouraged to achieve Level 6 by 2016.

The new scheme (both July 2019 submission and the October 2019 revision) is designed to have the sustainability levels that exceed the statutory requirements of Building Regulations (that are presently equivalent to the Code for Sustainable Homes Level 4) by approximately 50 percent. We estimate that the proposed development will achieve Level 6 of the Code for Sustainable Homes standards and will include at least 10 percent reduction in the total carbon emissions through on-site installation and implementation of decentralised, renewable or low-carbon energy sources and "fabric only" approach. Through the meticulous specifications and detailing we aim to improve efficiency of building envelope, with passive solar gain, and use of features such as use of energy efficient lighting and white goods will reduce overall carbon emissions during the occupation of the dwelling.

Sustainable and high quality design should be encouraged. This is supported by national policy as the creation of high quality buildings and places is one of the key aspects of the National Planning Policy Framework (NPPF) in Chapter 12: 'Achieving well-designed places'. For instance, Para. 131 states

*"In determining applications, great weight should be given to outstanding or innovative design which promotes high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings."*

Sevenoaks District Council also has local planning policies in the Core Strategy for example there is Policy SP1- Design of New Development and Conservation. In the emerging

Local Plan there is Policy EN1 "Design Principles."

Also the idea is supported within the WCAAMP:

*"All new buildings should use products with a low environmental impact, including the use of locally sourced materials from sustainable resources. Where appropriate in a Conservation Area, new buildings should also include provisions for waste reduction, the re-use of materials and should be energy efficient, including the use of renewable energy systems."*

The proposal presents high quality innovative design with more than 50% over building regulations sustainability criteria.

### 3.4.4 Functionality

We believe that the proposed development would improve the quality of life of current and future occupants of Tanglewood by improving both aesthetic and functional qualities of accommodation and by making a better use of the plot. The proposal also would not have an unacceptable impact of the residential amenities of nearby dwellings due to the following factors incorporated into the design of the remodelled Tanglewood:

- The extension will improve the house and will improve and enhance the external appearance. It will thus be of benefit to the local area, creating a substantial family dwelling as befits its location and setting;
- The proposed scheme will improve the western and the southern parts of the plot with high quality soft and hard landscaping adding enhanced privacy that would enable the occupiers on the dwelling to enjoy an extra 40percent of the garden;
- A major consideration within any works to a Heritage Asset is the need to ensure the long-term viability of the building. We aim to achieve a significant family dwelling commensurate with neighbouring development and thus accord with the Conservation Area which requires ‘change to be positive’ and to continue the “prosperity of Sevenoaks District”;
- Tanglewood was constructed in the late 1960s prior to the national asbestos prohibition phases. In late July 2017 an extensive refurbishment asbestos survey was carried out at the property. The survey identified several areas as containing asbestos materials and advised of their removal (Please see Ayerst Report attached). At the time of the survey it was noted that the cavity may hold asbestos containing materials. This will be further investigated when items recommended for removal removed in accordance with the requirements of HSG264 ‘Asbestos: The survey guide’ 2012 and the Hazardous Waste (England and Wales) Regulations 2005 and subsequent amendments 2009;
- No obstruction of any views of the neighbours. Both rules of 25 and 45 degrees in both plan and elevation are satisfied. Flat topography of land and landscaped screens acts to ensures no impact on the privacy of surrounding occupiers. Dense vegetation between plots and along length of Parkfield restricts views, particularly in summer when vegetation is fully established;
- Extensive existing and proposed evergreen vegetation contributes to the privacy screening during the winter months;
- The proposal would preserve the amenities currently enjoyed by occupiers of adjoining properties;

- The proposal will have no impact on the existing vehicular access. Development will continue to ensure satisfactory means of access for vehicles and provides adequate parking facilities for 6 cars;
- The scheme proposes a footprint that is in scale with the plot so that there is no impression of cramped development or indeed over-development;
- The proposed application would maintain the current use without any further intensification;
- To protect against overlooking side elevations facing neighbouring properties contain minimal windows. There is no possibility of any overlooking to any of the adjoining properties. There will be new first floor windows directly facing towards Fairlawn and High Weald;
- Due to Tanglewood being detached from neighbouring properties with mature tree lining the boundaries acting as a suitable screen, neither of the neighbours would lose any privacy. High Weald has only WC roof Velux windows with obscured vision facing the western side of Tanglewood;
- Although it is recognised that the remodelled and extended dwelling is larger than the existing dwelling, the plot itself is large enough to accommodate the proposed extensions supported by positive visual impact of the extensive green roof covering entire eastern extension and disappearing into the garden lawn. The remodelled dwelling will remain centrally located in the plot. A distance of almost 40m from the dwelling to the private road (Parkfield) will remain and with the enhanced mature landscaping, the dwelling will be concealed from the highway and therefore will not have a detrimental impact on the street scene;
- The proposal does not have an adverse impact on privacy and amenities of the locality by reason of form, scale, height, outlook, noise or light intrusion. All mechanical plant associated with the indoor pool will be sited and acoustically treated to avoid disturbance to the occupiers of Fairlawn;
- The proposal provides a satisfactory environment for future occupants, including an adequate provision for daylight, sunlight, privacy, garden space, storage and landscaped amenity areas;
- The proposal will incorporate security measures and features to deter crime.

The NPPF acknowledges that whilst it is important for developments to reflect the character of the local area, developments that incorporate new technologies which result in a high level of sustainability should be supported.

Besides the landscape and environmental focus, the Arts and Crafts movement puts an emphasis on the importance of creating meaningful environments. Ruskin said that the quality of structure and design can impact social and moral health and we concur with this assessment. In the increasingly industrialised and technological world of the present day, bringing organic and human qualities into the design is something that we have taken into consideration. As Morris viewed every detail as being important, we look at the big picture but don't overlook the fine details. While new innovations can always be beneficial, it's important to keep an eye on the past to remember important lessons that were already learned.

### **3.5 Use**

The site is located in an established residential area characterised by substantial houses in large plots. The site is currently occupied by a single residence. The proposed application would maintain the current use of the site.

The house will be completely remodelled internally, providing a better functional living space to suit the specific needs of the current residents. The existing garage will provide further living accommodation for a growing family. The double story side extension will replace the existing shed and extra living space on the Ground Floor and two extra bedrooms on the 1st Floor.

To the rear of the property, the extension will provide a better use of space for the family with the kitchen and living accommodation opening up towards the garden, and will also house half of the swimming pool. The underground plant room is situated at the other end of the swimming pool. To keep the noise of the high quality modern plant equipment to minimum a double layer of soundproofing will be applied.

### **3.6 Access**

The access to the house will remain unaltered.

## 4 Addressed Comments From the Previous Applications

This Heritage, Design and Access Statement has described in great detail how the proposed design considers and addressees comments made and issues raised by the case planning and conservation officers during past planning full and pre-application.

Although, the proposed design has progressed significantly since the last pre-application dialogue the scheme can be still re-evaluated and the Proposed Tanglewood detailing can and will be discussed further with both the Council and Wildernesse Estate residents.

### 4.1 Planning Pre-Application PA/15/00974

Comments made by Conservation officer Rebecca Lamb:

- *“We would suggest looking at taking the clues from the distinctive architecture of the buildings in the conservation area in form of a sensitive re-interpretation without necessarily replicating it”.(refer to...)*
- *“Although the architectural detailing of the building is more restrained compared with other buildings in the conservation area, in its compact form, materials, steeply pitched roof with the unbroken roof planes, and the horizontal emphasis of windows, the building does reflect both Kentish Vernacular and influences of the Arts and Crafts Style”.  
(refer to...)*
- *“The intention of retrofitting the building is supported in principle which could be achieved in a complementary way”.*
- *“Cavity wall insulation would be an obvious alternative to the proposed external wall insulation and rendering of the building”.*
- *“It is important to retain garden spaces between buildings and plot boundaries to the side. Since Tanglewood has already been extended to the rear in a way that brings the building close to the boundary with the adjacent Fairlawn, a further spreading of the footprint sideways as indicated for the kitchen extension should be avoided in favour of extending backwards into the depth of the plot so as to retain the plot characteristics of the area”.*
- *“We would seek to ensure that a proposal does not cause an unacceptable loss of light, privacy or outlook to neighbouring properties, this can be achieved by setting proposed extensions away from the boundaries of the site and neighbouring properties, limiting the number of windows to be created in side elevations and obscure glazing windows which may overlook neighbouring properties”.*
- *“Biodiversity enhancement”.*

## 4.2 Planning Pre-Application PA/18/00088

Comments made by Conservation officer Rebecca Lamb:

- *“Regarding Tanglewood, the Conservation Team’s view was that there is no objection to the principle of the demolition of the existing building and construction of a replacement building with a more modern style of architecture.”*
- *“Whilst the current building appears pedestrian in appearance it does contribute key features that our import to the character of this conservation area; namely the generous size, the location on the plot, the space between buildings, the traditional form, proportions and materials of this area. You are proposing to maintain the building line and to enhance the verdant character of the site which is welcomed and should continue in any further submissions.”*
- *“Looking at the design itself, I believe that the one of the key characteristics of the conservation area is the pitched roofs and formal frontage, where the entrance bay is clearly defined. “*

## 4.3 Full Planning Application 18/03836/FUL

Comments made by Conservation officer Elizabeth Ashworth:

- *“Tanglewood has in itself little architectural merit”*
- *“Owing to the period of development, many of the houses in the Wildernesse Estate take their design cues from the Arts and Crafts movement and the domestic revival style and as such we see the use of local vernacular materials. ” (please refer to section 3.3.4)*
- *“Another key characteristic of the Arts and Crafts movement seen in the Wildernesse Conservation area is simplicity. ”*
- *“Proposed building does not reflect local distinctiveness”*
- *“The complex range and use of materials result in a lack in cohesiveness of design and consequently the building does not sit harmoniously in the context of the conservation area.” And “The choice of rammed earth for the proposed development, the semi-transparent privacy and anti-solar gain screening clad in timber composite material, green roof and composite slate tiles do not reflect the local vernacular materials.” And “the use of two contrasting roofing materials “*
- *“The proposed scheme has a very complicated roof form with numerous slopes, It does not reflect the simplistic roof form favoured by the AC movement. and as highlighted in the Conservation Area Appraisal one of the key features of the area is that ‘roofs are almost universally well-pitched and tiled’.”*



- The Conservation Officer criticises the *“the use of large barge boards”* as according to her opinion it is not characteristic to the traditional AC style
- *“The choice of semi-transparent privacy and anti-solar gain screening clad in timber compo- site material do not reflect the local vernacular materials.”*
- *“It is clear in both the Wildernesse Conservation Area Appraisal (adopted) and the Wildernesse Design statement (not yet adopted), that the Wildernesse Estate was originally conceived as a development where cohesive design and even proportions should be maintained and where local distinctiveness rests upon the ideas of the Arts and Crafts movement.”*
- *“from a planning perspective, it is considered that creating and implementing a statement design within a conservation area such as Wildernesse may be challenging”, however Rebecca Lamb also has noted that: Regarding Tanglewood, the Conservation Team’s view was that there is no objection to the principle of the demolition of the existing building and construction of a replacement building with a more modern style of architecture.”Also, she notes, that ”Lamb ”There is not a prescribed architectural style for new development but it is important any proposal preserves or enhances the distinct character of the conservation area.”*
- *“Whilst the current proposal features an asymmetrical design, one of the key characteristics of the Arts and Crafts movement include the use of local materials, asymmetry, traditional construction methods, and craftsmanship.” Asymmetrical design was supported, so it was retained, but materials changed to local vernacular Also, the framing is proposed to be partly timber.*
- *“I am satisfied that the alterations should not result in overlooking, unreasonable loss of light or create privacy issues for those occupying the neighbouring properties and that the proposal accords with policy EN2 of the ADMP.”*

#### 4.4 Full Planning Application 18/01983/HOUSE and 19/00932/MMA

Comments made by case Conservation officer:

- *“As stated within the Wildernesse Conservation Area Appraisal and Management Plan the importance of the roof type is emphasised within the locality of the area along with the considerable amount of vegetation which shields the properties from the highway.”*
- *“Both neighbouring properties, High Weald and Fairlawn are locally listed buildings. Both of these properties are significantly shielded from the application site and are not directly visible. The proposal is to be located some distance from the locally listed buildings and therefore the setting of these building would be unaffected by the development.”*

- *“whilst it is acknowledged that the ground levels have been altered so that the proposed kitchen area and other rear rooms will sit at a lower level than those of the approved scheme and it is acknowledged that the width of the rear extension will be wider due to the shape of the rear extension, when the proposal is considered as a whole the extent of the built form should appear smaller in the context of the site.”*

## 5 Conclusion

The Heritage Statement was one of the first things that we have considered when beginning to formulate the project brief and design proposals. In other words, the needs and constraints of being in proximity of the identified heritage assets within the Wildernes Estate influenced the evolution of proposal from the outset, and this Heritage Statement explains how we have arrived at the current scheme. During the Pre Application phase the Initial Heritage Design and Access Statement was submitted for pre-application and was distributed to all neighbours (please, click on the link to view the document online): [https://drive.google.com/file/d/1iMaIvZRHFUUNwiwY2rWuvlVDHpXFPat\\_/view?usp=sharing](https://drive.google.com/file/d/1iMaIvZRHFUUNwiwY2rWuvlVDHpXFPat_/view?usp=sharing)

Few amendments were made to the architectural design in response to the report by the Conservation Officer Elizabeth Ashworth dated 16.09.19 in relation to the current Planning Application 19/02137/FUL.

We have introduced a traditional hip roof with the main horizontal ridge that is parallel to Parkfield and raises above the three subservient gables. Also, as the horizontal ridge may look a bit heavier on the front elevation, than three gables on their own as on the previous scheme, we have reduced the ridge level even more to be approximately 37cm lower than the ridge level of High Weald. Additionally, we have introduced a cat slide roof going down to the lower first floor level on the rear elevation. Please, see below the Northern 3D View of Tanglewood as proposed and its neighbours.

We have covered all the glazing above the main entrance at the first floor level with the semi-transparent timber solar gain screening. This design amendment serves the following purposes: it veils the tall windows on the main elevation, visually reduces the height of the gables, softens the shape of the gables, equalises the size of the central and eastern gables and introduces articulation of the ground and first floors.

The following essential points were covered within this initial Heritage Statement:

- assessment of heritage significance of Tanglewood, including its setting to this and future generations because of its heritage interest. We identified that this interest is architectural, artistic and historic;
- assessment of impact - an assessment of the likely impact of the proposed development on the heritage asset and its setting;

Carrying out the above assessment has enabled us to respond to the constraints of the site and produce:

- An architectural proposal that aims to respect, preserve and enhance the high standard of design, variety and quality found within the Wildernesse Conservation Area. The proposal respects the "local character and is compatible in terms of scale, density, height and site coverage with other buildings in the locality";
- A scheme developed as part of a larger collective of the Wildernesse Conservation Area. We have assessed how it will be viewed from neighbouring sites as well as how it will be viewed on approach from Parkfield;
- A scheme that harmoniously adopts some of the architectural language of the area Kentish vernacular Arts and Crafts heritage;
- A proposal that replaces an existing building described as "pedestrian" by the Conservation Office, and of no significant architectural merit with a high quality sustainable dwelling;
- A combination of existing and proposed landscape features, screens, separation distance and controlled glazing will mean that proposed extensions will not have any impact on the privacy, amenities or living conditions of neighbouring residents. Glimpsed views would be improved;
- A proposal that brings the property in line with the high standard of design and considerable renovation with high quality materials that are expected from the houses of the Wildernesse Estate;
- A scheme that is rooted in the preservation of the natural characteristics of land by retention of hedges and enhancement of woodland feel of the plot;
- A building where the subservient ratio of house to landscape is maintained by the careful massing of the extension orientation and placement within the land and partially hidden from Parkfield;
- An environment that harmonises with the built form through the extensive planting programme, which uses mature trees specimens as much as possible in preparation of the proposal to preserve the character of the Conservation Area;
- A proposal that adheres to the high standards set out by some of the most respected architects of the 20th century. We would like Tanglewood to stand as an exemplar of what can be achieved by using the cutting-edge design techniques. We will endeavour to use materials and techniques that are locally sourced or intrinsically linked with the history of the area but with a modern spin;
- An exceedingly high level sustainable and bio-versatile design.

As architects we are keen to respect the historical and architectural qualities present, but also want to take advantage of advances in the architectural field. Conservation status is not implemented to prevent development and is rather there to manage the development of change. We have sought to achieve this balance by working with the architectural language of the Kentish vernacular and the local work of B. Scott already present within the area.

We believe, that opportunities for high-quality, contemporary architecture should be embraced as a means of securing the Wildernessee Estate Conservation Area's appeal and desirability for the long-term. Further, how else might we continue the legacy of 'buildings and settings of the highest quality' bequeathed and entrusted to us?

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